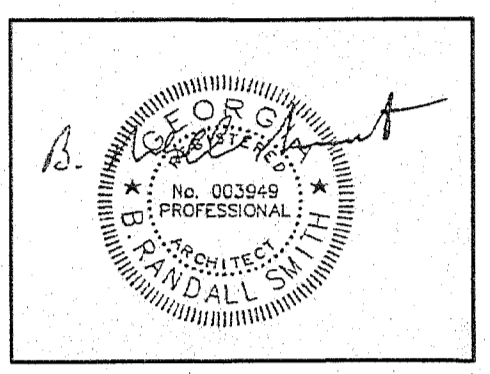


Union
County
Community
Center

129 Union County
Recreation Road,
Blairsville, Georgia 30512.

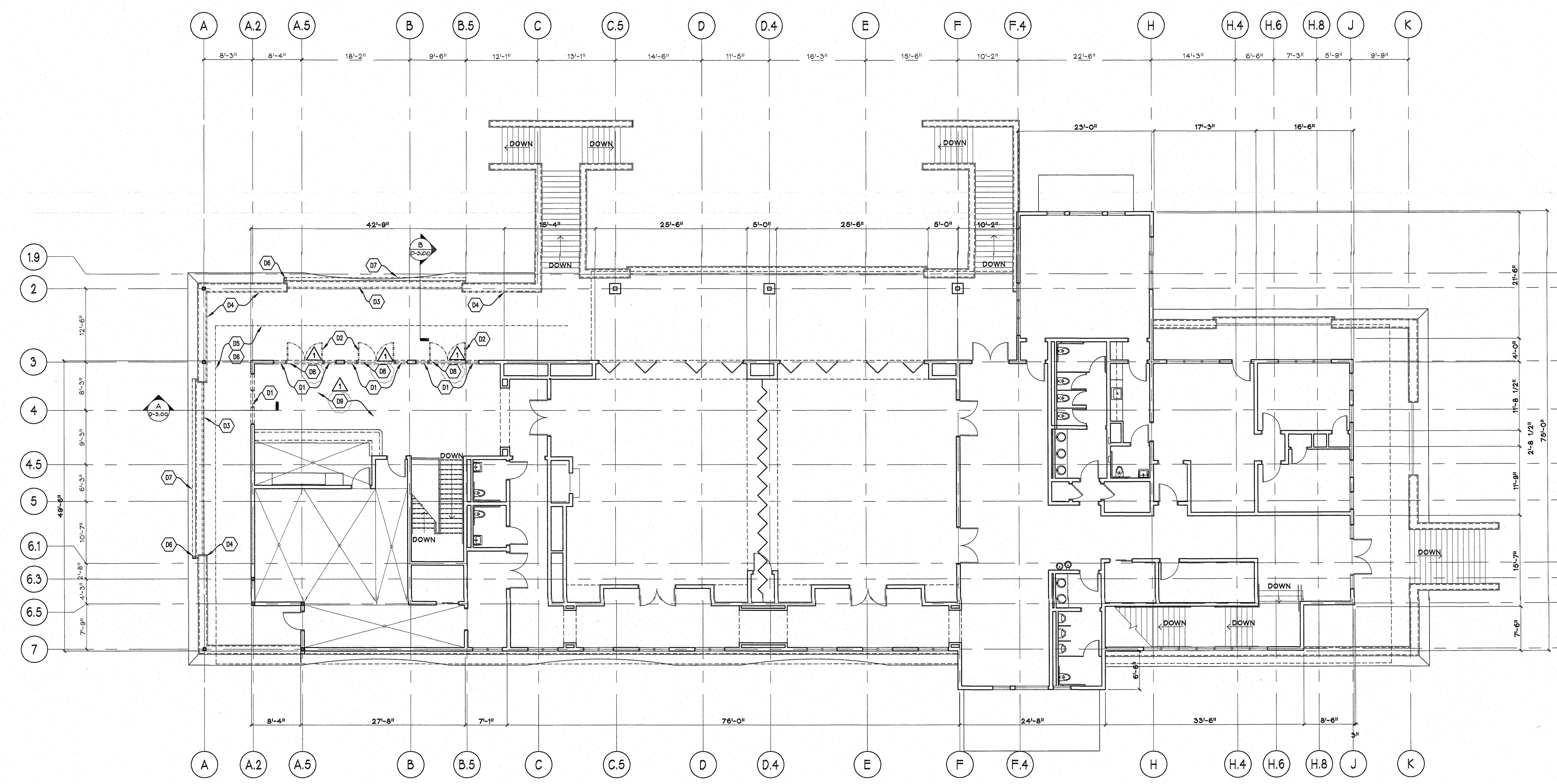


RELEASED FOR CONSTRUCTION

REVISIONS

10/01/10 BID SET

2/02/10 ADDENDUM #2



- DEMOLITION NOTES:**
- D1. REMOVE EXISTING WINDOWS. SAVE FOR RELOCATION.
 - D2. REMOVE EXISTING DOUBLE DOORS. SAVE FOR RELOCATION.
 - D3. REMOVE EXISTING METAL RAILINGS.
 - D4. REMOVE PORTION OF EXISTING PRECAST CAP AS REQUIRED TO ACCOMMODATE NEW WALLS.
 - D5. REMOVE EXISTING SHINGLE ROOF SYSTEM, EAVE SOFFITS, AND EAVE DOWNLIGHTS TO EXTENTS INDICATED. SAVE DOWNLIGHTS FOR RELOCATION.
 - D6. REMOVE EXISTING GUTTERS & DOWNSPOUTS INDICATED.
 - D7. REMOVE EXISTING GUTTER. VERIFY EXISTING PRECAST TRIM UNDERNEATH.
 - D8. REMOVE THRESHOLD.
 - D9. REMOVE CARPET IN DINING ROOM, HARD TILE AND METAL EDGE STRIP ARE TO REMAIN.

A DEMOLITION- UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"

Gardner
Spencer
Smith &
Jarbeau

A Professional Corporation
for the Practice of Architecture

50 Hurt Plaza SE
Suite 1100
Atlanta Georgia 30303
404 522 8805
404 521 2118 (f)
www.gsstj.com

PROJECT NO.

16107

SHEET TITLE

UPPER LEVEL
DEMOLITION PLAN

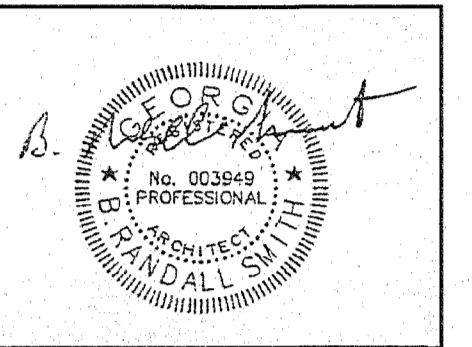
SHEET NO.

D-1.00

© 2010 THESE DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

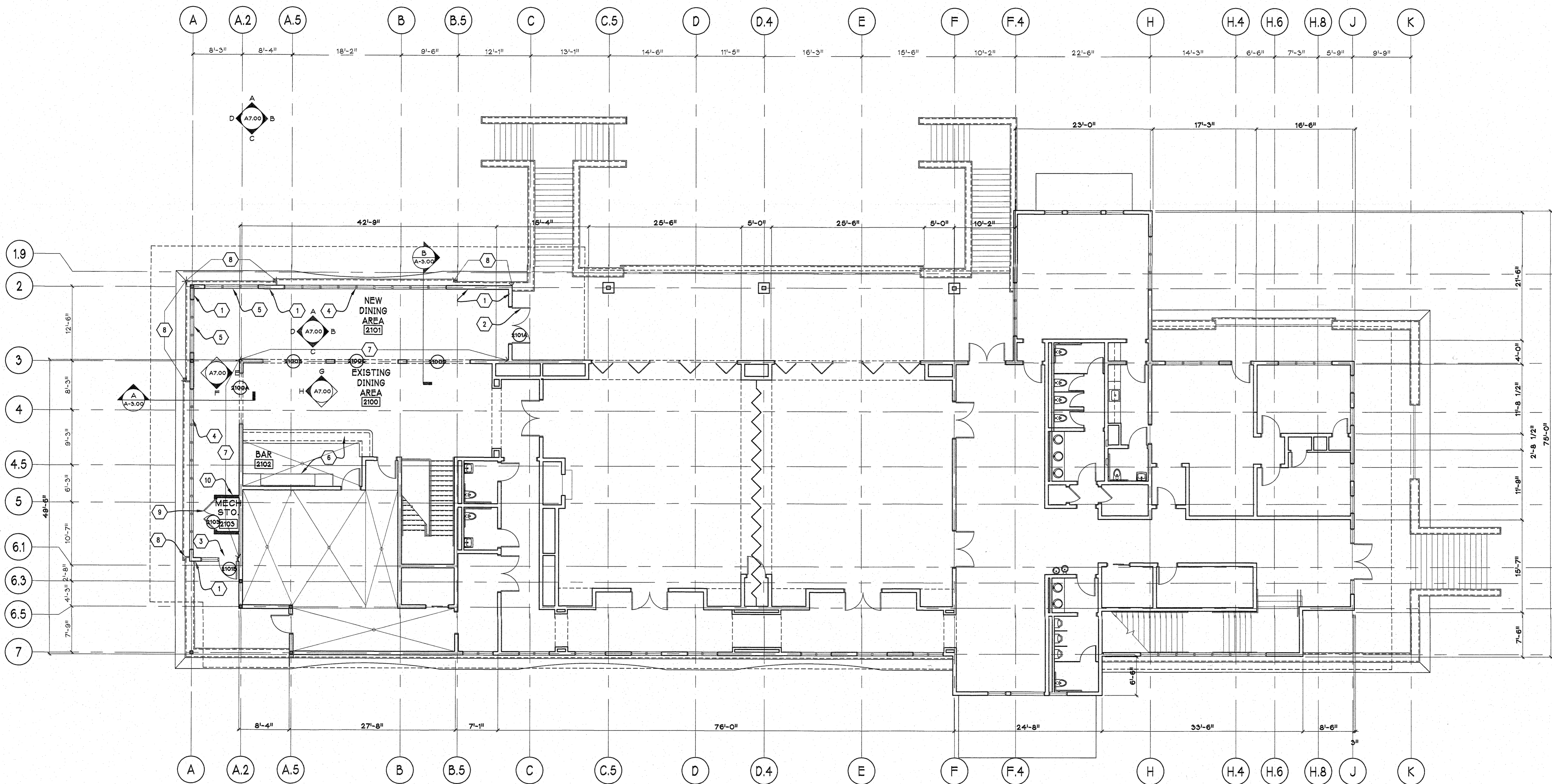
Union
County
Community
Center

129 Union County
Recreation Road,
Blairsville, Georgia 30512



RELEASED FOR CONSTRUCTION

REVISIONS
10/07/10, BID SET
10/02/10, APPENDUM #2



- CONSTRUCTION NOTES:**
1. NEW EXTERIOR WALL. MATCH CONSTRUCTION OF EXISTING ADJACENT EIFS WALLS.
 2. INSTALL RELOCATED DOUBLE DOORS. SEE DOOR ELEVATION C/A-4.02.
 3. REWORK ONE RELOCATED DOUBLE DOOR PANEL INTO A SINGLE DOOR. INSTALL REWORKED DOOR AND ONE RELOCATED SIDELITE IN NEW WALL. SEE DOOR ELEVATION D/A-4.02.
 4. NEW OR RELOCATED WINDOWS: SEE WINDOW ELEVATION A/A-4.02.
 5. NEW WINDOWS: SEE WINDOW ELEVATION B/A-4.01.
 6. EXISTING CASEWORK TO REMAIN.
 7. EXISTING EIFS WALL FINISH TO REMAIN. CLEAN AND REPAIR AS REQUIRED. LAMINATE GYPSUM BOARD OVER THE EXISTING EIFS. INSTALL NEW CASING AND TRIM ON EXISTING OPENINGS. SEE ELEVATION E/A-4.02.
 8. REWORK OR REPLACE EXISTING PRECAST CAP TO ACCOMMODATE NEW WALL.
 9. INSTALL NEW DOUBLE DOORS. SEE DOOR ELEVATION F/A-4.02.
 10. INSTALL NEW WALL PARTITIONS AT MECHANICAL ROOM. SEE DETAIL 2/A-4.01.

A UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"

Gardner
Spencer
Smith
&
Jarbeau

A Professional Corporation
for the Practice of Architecture

50 Hurt Plaza SE
Suite 1100
Atlanta Georgia 30303
404 522 8805
404 521 2118 (f)
www.gsstj.com

PROJECT NO.

16107

SHEET TITLE

UPPER LEVEL FLOOR PLAN

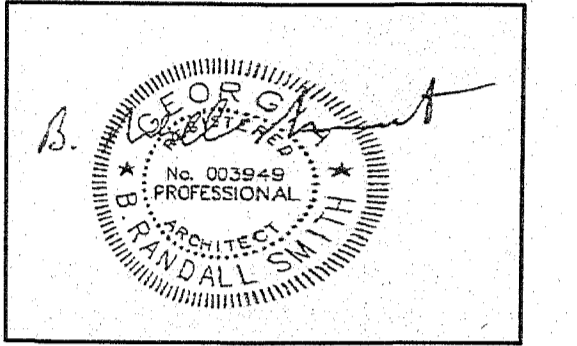
SHEET NO.

A-1.00

© 2010. THESE DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

Union
County
Community
Center

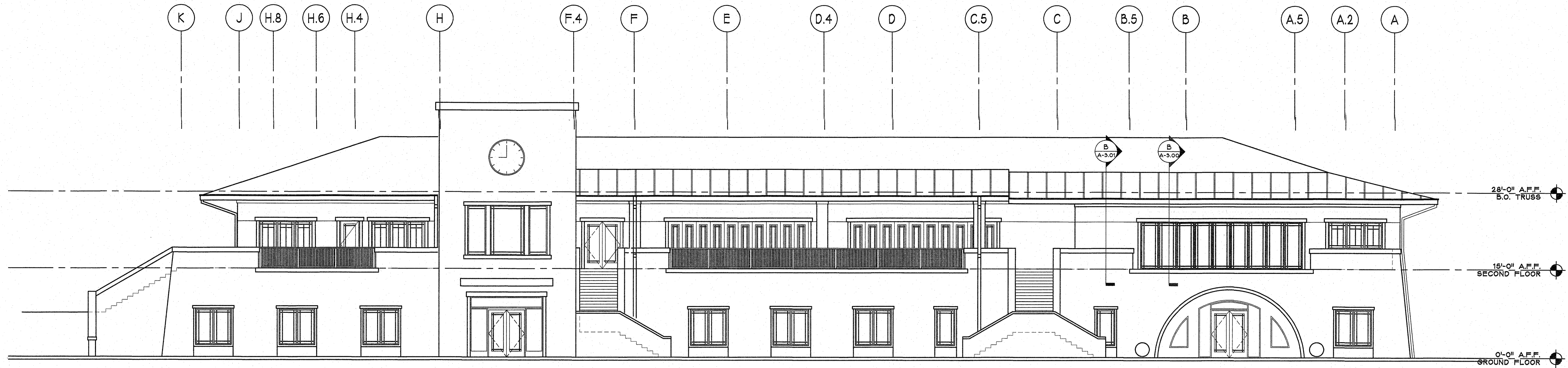
129 Union County
Recreation Road,
Blairsville, Georgia 30512



RELEASED FOR CONSTRUCTION

REVISIONS

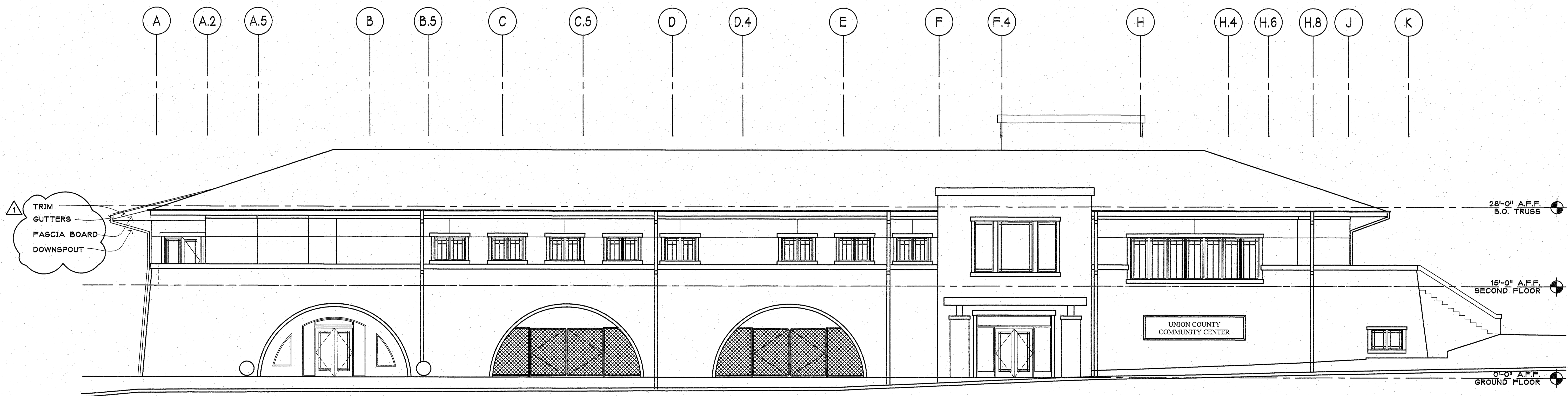
10/01/10, BID SET
12/02/10, ADDENDUM #2



- CONSTRUCTION NOTES:**
1. NEW EXTERIOR WALL. MATCH CONSTRUCTION OF EXISTING ADJACENT EIFS WALLS.
 2. INSTALL RELOCATED DOUBLE DOORS. SEE DOOR ELEVATION C/A-4.02.
 3. REWORK ONE RELOCATED DOUBLE DOOR PANEL INTO A SINGLE DOOR. INSTALL REWORKED DOOR AND ONE RELOCATED SIDELITE IN NEW WALL. SEE DOOR ELEVATION D/A-4.02.
 4. NEW OR RELOCATED WINDOWS: SEE WINDOW ELEVATION A/A-4.02.
 5. NEW WINDOWS: SEE WINDOW ELEVATION B/A-4.01.
 6. EXISTING CASEWORK TO REMAIN.
 7. EXISTING EIFS WALL FINISH TO REMAIN. CLEAN AND REPAIR AS REQUIRED. LAMINATE GYPSUM BOARD OVER THE EXISTING EIFS. INSTALL NEW CASING AND TRIM ON EXISTING OPENINGS. SEE ELEVATION E/A-4.02.
 8. REWORK OR REPLACE EXISTING PRECAST CAP TO ACCOMMODATE NEW WALL.
 9. INSTALL NEW DOUBLE DOORS. SEE DOOR ELEVATION F/A4.02.
 10. INSTALL NEW WALL PARTITIONS AT MECHANICAL ROOM. SEE DETAIL 2/A-4.01.

A NORTH ELEVATION

1/8" = 1'-0"



B SOUTH ELEVATION

1/8" = 1'-0"

Gardner
Spencer
Smith
&
Tench &
Jarbeau

A Professional Corporation
for the Practice of Architecture

50 Hurt Plaza SE
Suite 1100
Atlanta Georgia 30303
404 522 8805
404 521 2118 (f)
www.gsstj.com

PROJECT NO.

16107

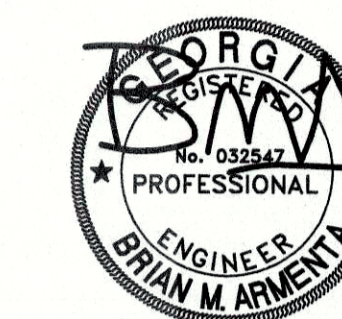
SHEET TITLE

NORTH & SOUTH
ELEVATIONS

SHEET NO.

A-2.00

© 2010 THESE DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR REPRODUCED WITHOUT WRITTEN PERMISSION.



RELEASED FOR CONSTRUCTION

10/30/2020 BID SET

REVISIONS

1 12/02/20 REVISION 1

Panel	ROOM	SURFACE	VOLTS	208Y/120V 3P 4W	AIC	22,000			
A	MOUNTING	EXISTING MDP	BUS AMPS	200	MAIN BKR	MLG			
	FED FROM	NOTE	NEUTRAL	100%	LUGS	STANDARD			
Panel	ROOM	SURFACE	VOLTS	208Y/120V 3P 4W	AIC	22,000			
A	MOUNTING	EXISTING MDP	BUS AMPS	200	MAIN BKR	MLG			
	FED FROM	NOTE	NEUTRAL	100%	LUGS	STANDARD			
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	20/2	15.9	FCU-1	a 2	20/1	0.8	EXISTING RECEPTACLE (3)		
3				b 4	20/1	2.0	EXISTING RECEPTACLE (3)		
5	50/2	6.7	HP-1	a 6	20/1	2.0	EXISTING RECEPTACLE (3)		
7				b 8	20/1	2.0	EXISTING RECEPTACLE (3)		
9	20/2	15.9	FCU-2	a 10	20/1	1.2	EXISTING RECEPTACLE (3)		
11				b 12	20/1	1.2	EXISTING RECEPTACLE (3)		
13	50/2	6.7	HP-2	a 14	20/1	1.2	EXISTING RECEPTACLE (3)		
15				b 16	20/1	0.4	EXISTING RECEPTACLE (3)		
17	20/1	0.9	RECEPTACLE	a 18	20/1	0.4	EXISTING LIGHTING (3)		
19	20/1	0.0	SPACE	a 20	20/1	0.5	LIGHTING		
21	20/1	0.0	SPACE	b 22	20/1	0.2	LIGHTING		
23	20/1	0.0	SPACE	a 24	20/1	0.0	SPACE		
25	20/1	0.0	SPACE	a 26	20/1	0.0	SPACE		
27	20/1	0.0	SPACE	b 28	20/1	0.0	SPACE		
29	20/1	0.0	SPACE	b 30	20/1	0.0	SPACE		
31	20/1	0.0	SPACE	a 32	20/1	0.0	SPACE		
33	20/1	0.0	SPACE	b 34	20/1	0.0	SPACE		
35	20/1	0.0	SPACE	c 36	20/1	0.0	SPACE		
37	20/1	0.0	SPACE	a 38	20/1	0.0	SPACE		
39	20/1	0.0	SPACE	b 40	20/1	0.0	SPACE		
41	20/1	0.0	SPACE	c 42	20/1	0.0	SPACE		
CONN KVA		1.1	1.3	(125%)	CONN KVA		45.1	45.1	(100%)
CALC KVA		1.3	4.0	(25%)	CALC KVA		10.9	10.9	(50% > 10)
LARGEST MOTOR		15.9	4.0	(25%)	TOTAL LOAD		61.2		
					BALANCED 3-PHASE LOAD		169.9		
					PHASE A		100%		
					PHASE B		118%		
					PHASE C		81.8%		

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	VOLTS
B	□	(1) 35W LED	2x2 LED RECESSED TROFFER	LITHONIA 2GTL-2-33L-EZ1	120V 1P 2W
C	⊕	(1) 16W LED	PENDANT	TO BE SELECTED	120V 1P 2W
S4	— —	(1) 25W LED	RECESSED 4' LED STRIP	LITHONIA BLWP4	120V 1P 2W
T	⚡	(2) 1.5W LED	EMERGENCY LIGHTING UNIT	LITHONIA ELM2-LED	120V 1P 2W
X	⊗	(1) 5W LED	THERMOPLASTIC EXIT SIGN WITH BACKUP BATTERY	LITHONIA LQM-S-W-3-R-1 2Q/277-EL-N	120V 1P 2W
XC	⊗	(2) 1.5W LED	COMBINATION EXIT/EMERGENCY LIGHTING UNIT	LITHONIA LHQM-LED-R-HO	120V 1P 2W

CALLOUT	SYMBOL	VOLTS	KVA	CIRCUIT	WIRE CALLOUT	DISCONNECT DESCRIPTION
FCU-1	⊕	208Y/120V 2P 3W	15.87	A-1,3	1-1/4"C, 2#2, #2N, #6G	100A/2P/NEMA 1
FCU-2	⊕	208Y/120V 2P 3W	15.87	A-9,11	1-1/4"C, 2#2, #2N, #6G	100A/2P/NEMA 1
HP-1 (2)	⊕	208Y/120V 2P 3W	6.66	A-5,7	3/4"C, 2#6, #6N, #1 OG	60A/2P/NEMA 3R
HP-2 (2)	⊕	208Y/120V 2P 3W	6.66	A-13,15	3/4"C, 2#6, #6N, #1 OG	60A/2P/NEMA 3R

GENERAL NOTES

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES.

ALL RECEPTACLES SHALL BE GROUNDED AS REQUIRED BY ARTICLE 250-146.

PROVIDE UNSWITCHED HOT LEG OF CIRCUIT TO EMERGENCY LIGHTING AND EXIT SIGNS.

COMCHECK COMPLIANCE REPORT NOT NEEDED AS MORE THAN HALF OF LIGHTING FIXTURES ARE EXISTING TO REMAIN.

ALL EXISTING ELECTRICAL DEVICES TO REMAIN UNLESS SPECIFIED ON DRAWING.

SUBSCRIPT 'E' NEXT TO DEVICE DENOTES EXISTING TO REMAIN.

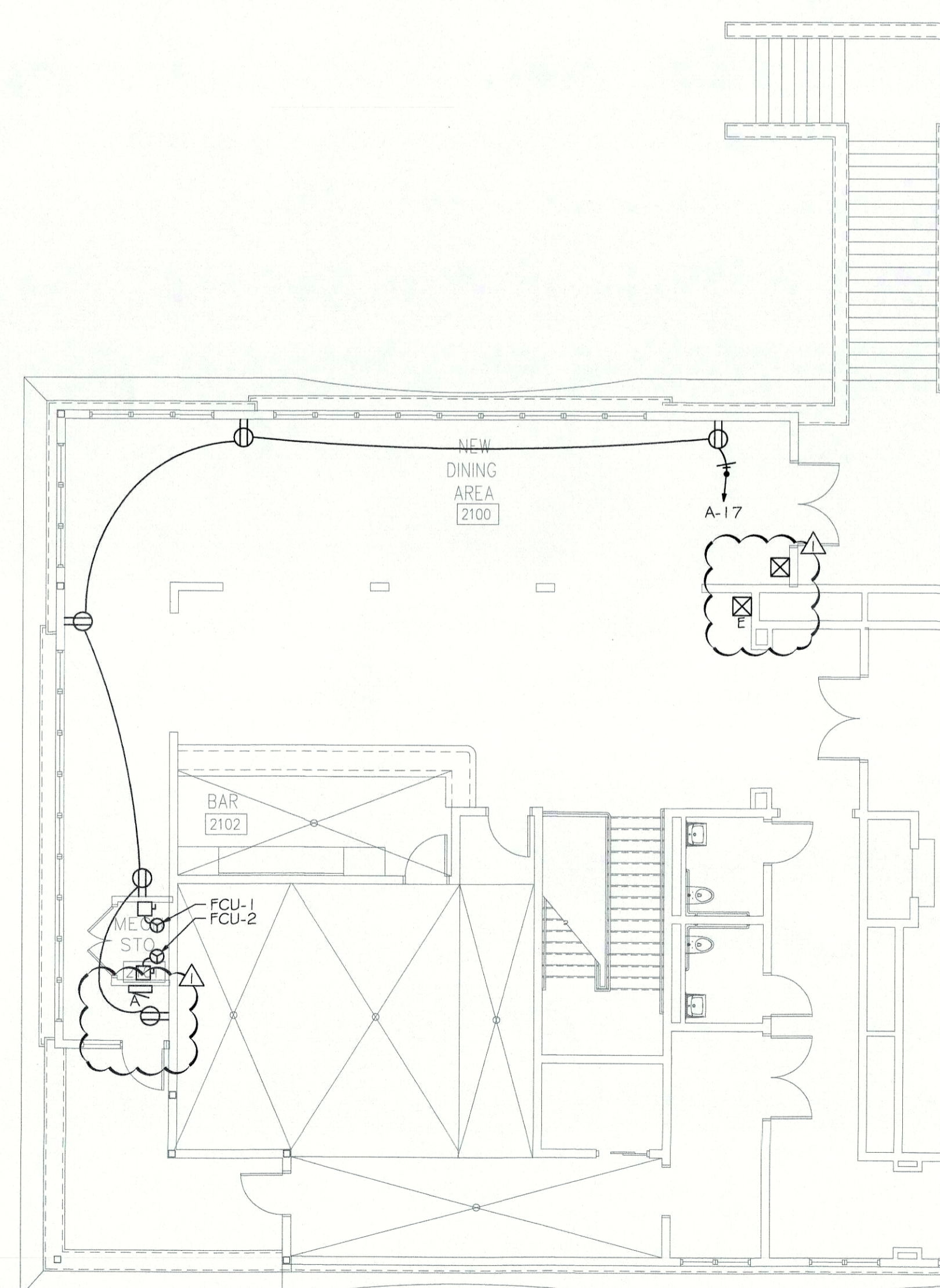
KEYNOTES

1 FEED THIS NEW PANEL FROM MDP THAT CURRENTLY USES 1504A OF AVAILABLE 1800A. USE 2"C, 3#3/0, #3/0 N, #6G FOR WIRE SIZE AND 200A/3P BREAKER.

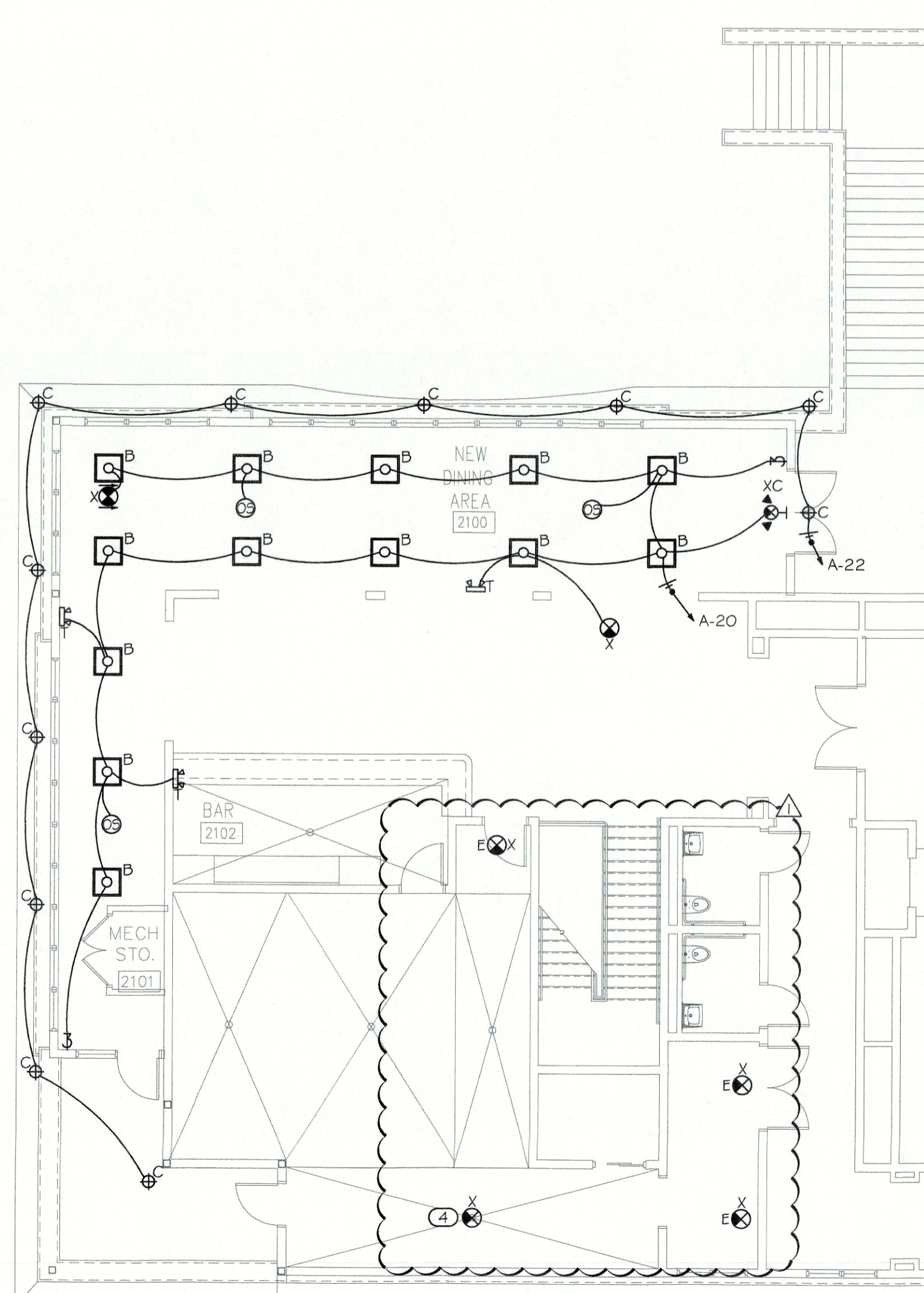
2 HVAC EQUIPMENT LOCATED ON ROOF. COORDINATE EXACT LOCATION IN FIELD AND SEE MECHANICAL DRAWINGS FOR DETAILS.

3 EXISTING CIRCUIT FROM PANEL KP IN FIRST FLOOR MAIN ELECTRICAL ROOM TO BE RE-CIRCUITED TO THIS PANEL.

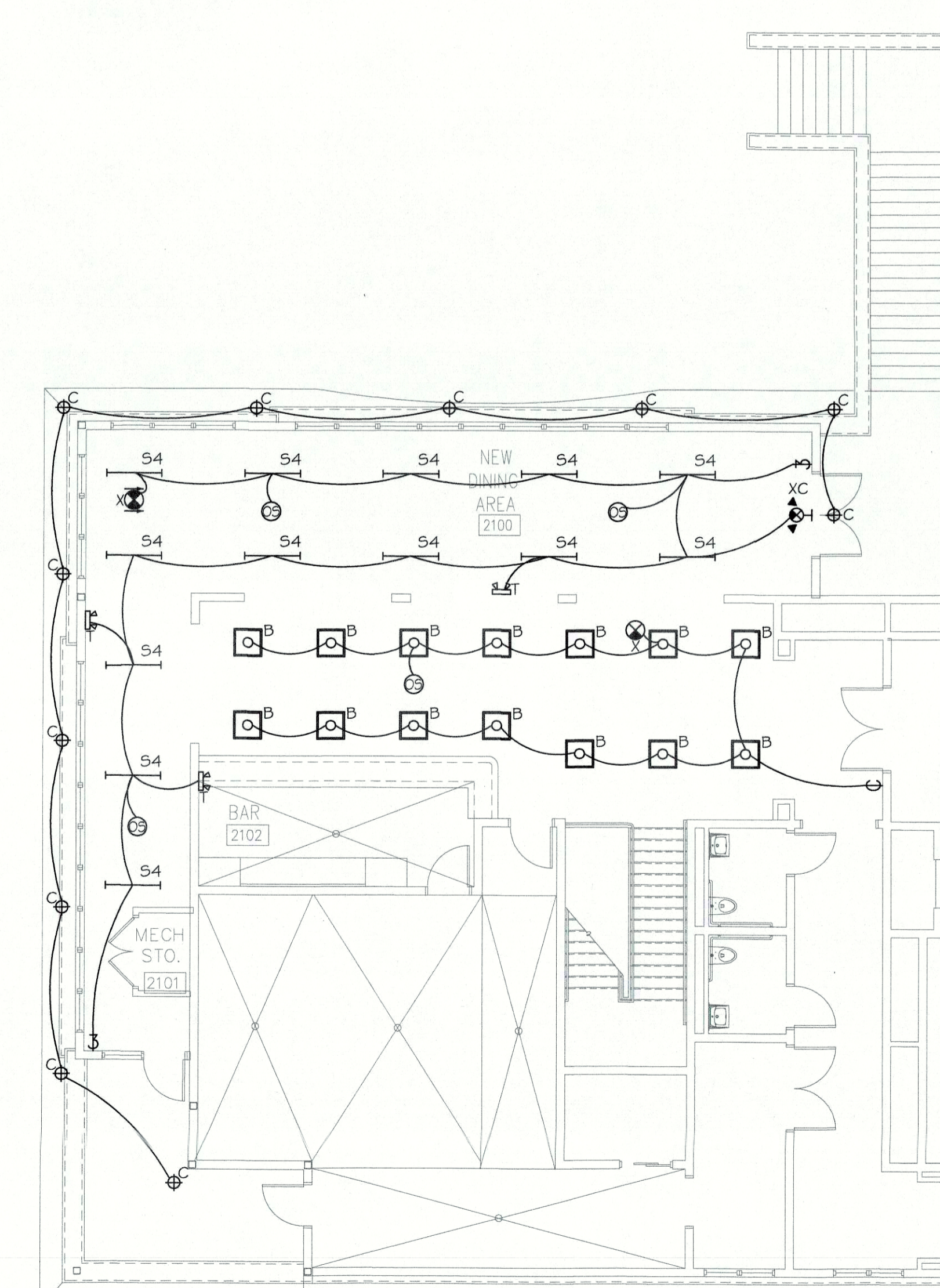
4 CIRCUIT TO NEAREST EXISTING LIGHTING CIRCUIT AVAILABLE.



1 UPPER FLOOR PLAN - POWER
Scale: 1/8" = 1'-0"



2 UPPER FLOOR PLAN - LIGHTING
Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - LIGHTING ALTERNATE
Scale: 1/8" = 1'-0"

Gardner
Spencer
Smith &
Tench &
Jarbeau

A Professional Corporation
for the Practice of Architecture

50 Hurt Plaza SE
Suite 1100
Atlanta Georgia 30303
404 522 8805
404 521 2118 (f)
www.gsstj.com

PROJECT NO

16107

SHEET TITLE

UPPER LEVEL FLOOR
PLAN

SHEET NO

E-1.00